National Aeronautics and Space Administration

**Lyndon B. Johnson Space Center** 2101 NASA Parkway Houston, Texas 77058-3696



September 26, 2025

Reply to Attn of: JE-25-067

Mr. Brad Patterson State Historic Preservation Office Texas Historical Commission P.O. Box 12276 Austin, TX 78711-2276

Subject: Initiation of Section 106 Consultation Project Review Building 13 Lobby and Room 241 Renovations

Dear Mr. Patterson:

The National Aeronautics and Space Administration (NASA), Lyndon B. Johnson Space Center (JSC) is planning to renovate the lobby area and Room 241 of Building 13 (B13), a historic building. The Project is located on Federal Property administered by NASA JSC and meets the definition of an undertaking, and thereby subject to consultation under Section 106 of the National Historic Preservation Act. Please refer to the attached enclosures for additional information. JSC is proposing a determination of "Adverse Effect" for this project. JSC welcomes your comments on this project and the proposed determination.

If you have any questions or need additional information, please contact me at 346-686-5332 or by email at jennifer.l.morrison@nasa.gov.

Sincerely,

Jeni Morrison JSC Cultural Resources Manager JSC Environmental Management Office

#### **Enclosures:**

- 1. Project Description
- 2. Site Maps and Proposed Project Area
- 3. Design Drawings
- 4. APE Analysis Photos

cc:

Ms. Miranda Grieder Historic Preservation Project Reviewer Federal and State Review Program Division of Architecture Texas Historical Commission P.O. Box 12276 Austin, Texas 78711-2276

Ms. Emily Dylla Program Coordinator Archeology Review and Compliance Texas Historical Commission P.O. Box 12276 Austin, Texas 78711-2276

bcc:

JE/J. Herrmann

JE/J. Adams

JM/L. Foreman

JM/J. White

JM/C. Noel

JP/P. Bennett

JP/R. Zamfir

JP/N. Patel

HQ/R. Klein

NA050/S. Johnson

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### **ENCLOSURE 1** Project Description

#### **Project Description**

The National Aeronautics and Space Administration (NASA), Lyndon B. Johnson Space Center (JSC) is proposing to renovate the lobby area (Room 1AN) and Room 241 of Building 13 (B13). JSC is updating the space to increase efficiency and usability for current occupants. Currently, there are no conference rooms on the second floor, so the renovation project will convert Room 241 on the second floor into a multipurpose conference room and library.

The renovation of the B13 lobby thoughtfully honors the building's historic role in structures and materials testing for human spaceflight. The design integrates modern functionality while preserving and celebrating the legacy of innovation that has taken place within the building's walls. The project entails removal of non-original graphics walls, non-original non-slip black safety tape from the original staircase, non-original horizontal panels from the stairway balusters, and original vinyl wall coverings from the first and second floor surrounding the stairwell.

The walls of Room 241 on the second floor will be removed and replaced with gypsum wallboard to 30 inches and frosted glass above that to the ceiling. These glass sections will feature etched film inspired by microscopic views of materials, symbolic of the detailed analysis and precision that defined the building's original engineering purpose. This will allow natural light to flow into the stairwell and lobby space, creating a more open and inviting atmosphere. Room 241 will be converted into a new library and display area that will showcase materials and hardware used throughout the human spaceflight program, transforming the space into a hub of learning and reflection. Glass walls in the new conference and display area will allow visibility from the staircase, reinforcing transparency and connection between past and present.

Finally, the existing stairwell, poorly maintained for decades, will be carefully cleaned and refinished to restore its original character and craftsmanship. The metal railings on the staircase will be repainted and the wood handrails on the stairs will be refinished. Additionally, new horizontal baluster panels featuring space-related graphics and new non-slip tape will be applied to the stairs for safety. Both the lobby area and Room 241 will be repainted in NASA standard color 101 Gray. Room 241 will receive minor electrical upgrades and new carpeting as well. Together, these changes create a space that not only supports current mission needs but also pays tribute to the pioneering work that helped shape NASA's legacy in human space exploration.

B13 (Structures and Mechanics Laboratory) is located on Avenue D due east of Building 15 and was constructed in 1964. B13 is eligible for listing on the National Register of Historic Places (NRHP) under Criterion A (space exploration and significant historic events), Criterion B (historically significant individuals associated with the building), and Criterion C (engineering, i.e. historic materials characteristic of a type, period, or method of construction). Although Room 241 is a previously renovated office area, the B13 lobby still likely retains a degree of historic integrity, with original materials and fabrics, including terrazzo stairs and

flooring and vinyl wall coverings, still in place. The Texas Historical Commission has emphasized the preservation of original interior primary spaces, such as lobbies.

As the project is confined to the interior of B13, there will be no impacts to the building exterior and no additional historic properties affected in the JSC Historic District. However, NASA has determined that the removal of original features in the lobby of NRHP-eligible B13, including vinyl wall coverings, and demolition of surrounding walls constitutes an adverse effect to historic property in the direct Area of Potential Effect (APE). NASA has taken measures to reduce the adverse effect, including repainting the metal railings and refinishing the original wooden handrail of the historic staircase to match their historic colors. NASA also proposes to develop a Memorandum of Agreement in cooperation with the Texas Historical Commission that stipulates appropriate mitigation measures.

Consistent with the obligations under Section 106 of the National Historic Preservation Act (NHPA), NASA JSC will seek input from interested parties and the public on this project. NASA JSC invites the Texas Historical Commission to participate in the development of a Memorandum of Agreement to discuss appropriate mitigation measures. Thank you for your attention to this consultation.

### ENCLOSURE 2 Site Maps and Proposed Project Area

#### **Site Maps and Proposed Project Area**

First Floor Site Map:



Second Floor Site Map:



**ENCLOSURE 3** Design Drawings





# EAWR FY26 IST FL. LOBBY & ROOM 241 REMODEL BUILDING 13 LEVEL 1 & 2

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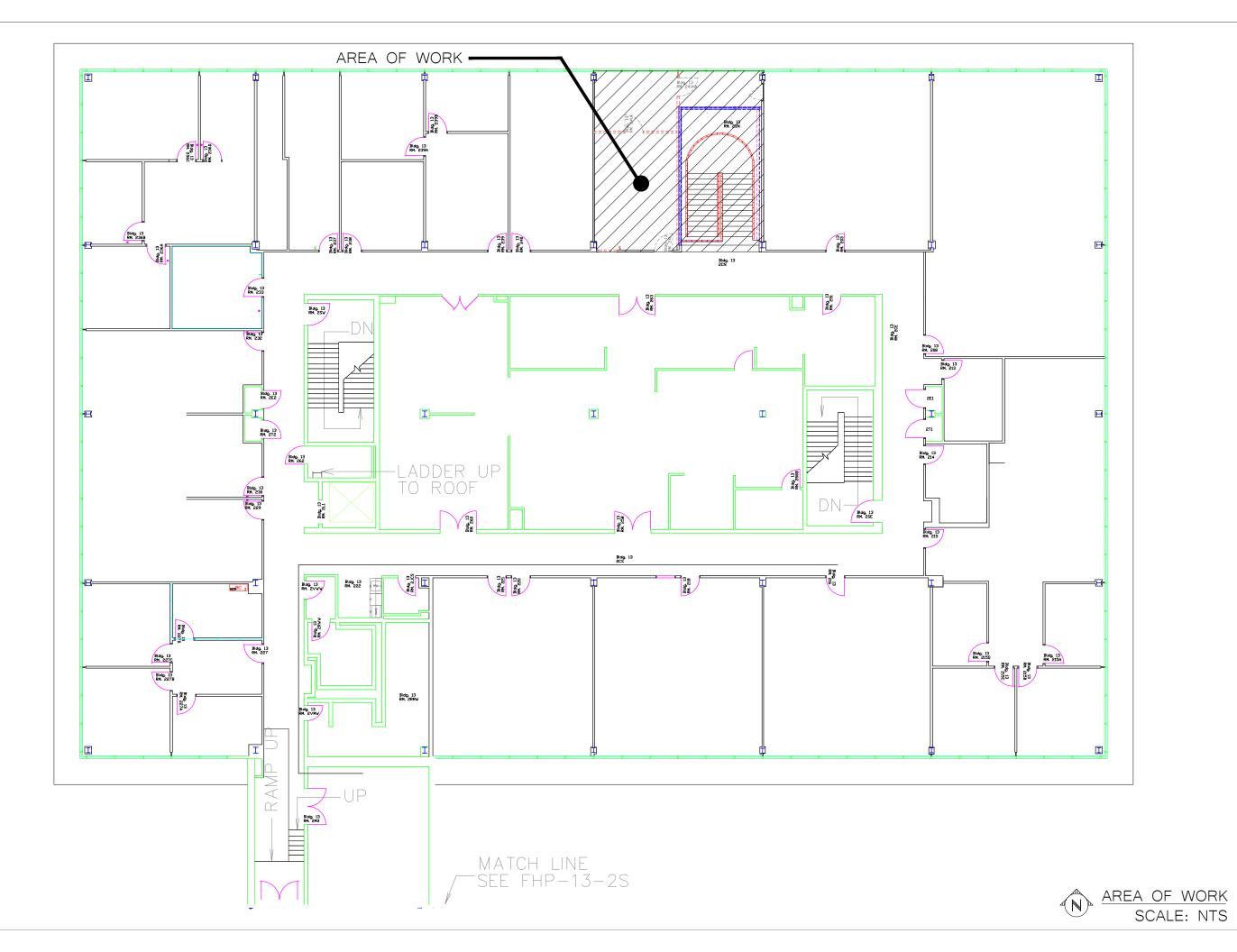
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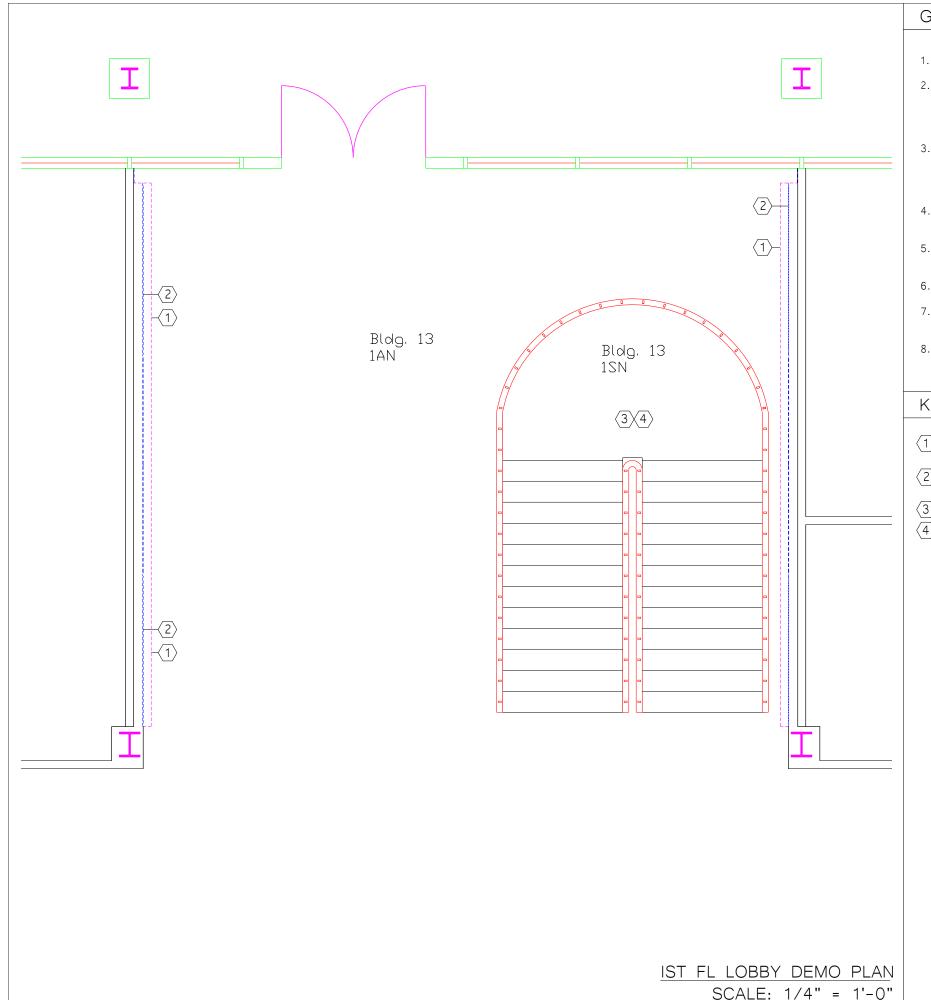
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- 4. ANY ASBESTOS WORK THAT IS IDENTIFIED SHALL BE PERFORMED PER JSC REQUIREMENTS.
- 5. FOR ANY DISCREPANCIES OR CLARIFICATIONS CONTACT HEATH FORD (713)-352-9610.
- 6. ALL ITEMS ARE EXISTING UNLESS NOTED OTHERWISE.
- 7. DASHED LINES INDICATE ITEM(S) THAT ARE SCHEDULED TO BE REMOVED OR RELOCATED UNLESS NOTED OTHERWISE.
- 8. REPLACE DAMAGED CEILING TILES AS NEEDED.

#### KEYNOTES - DEMO PLAN

- DASHED LINES INDICATE EXISTING GRAPHICS WALL TO BE REMOVED AND RETURN TO CUSTOMER.
- DASHED LINE INDICATES EXISTING VINYL FABRIC AND ONE LAYER OF GYPSUM BOARD TO BE REMOVED.
- REMOVE DETERIORATING NON SLIP BLACK TAPE FROM ALL STAIRS.
- REMOVE EXISTING HORIZONTAL PANELS SPANNING BETWEEN BALUSTERS.



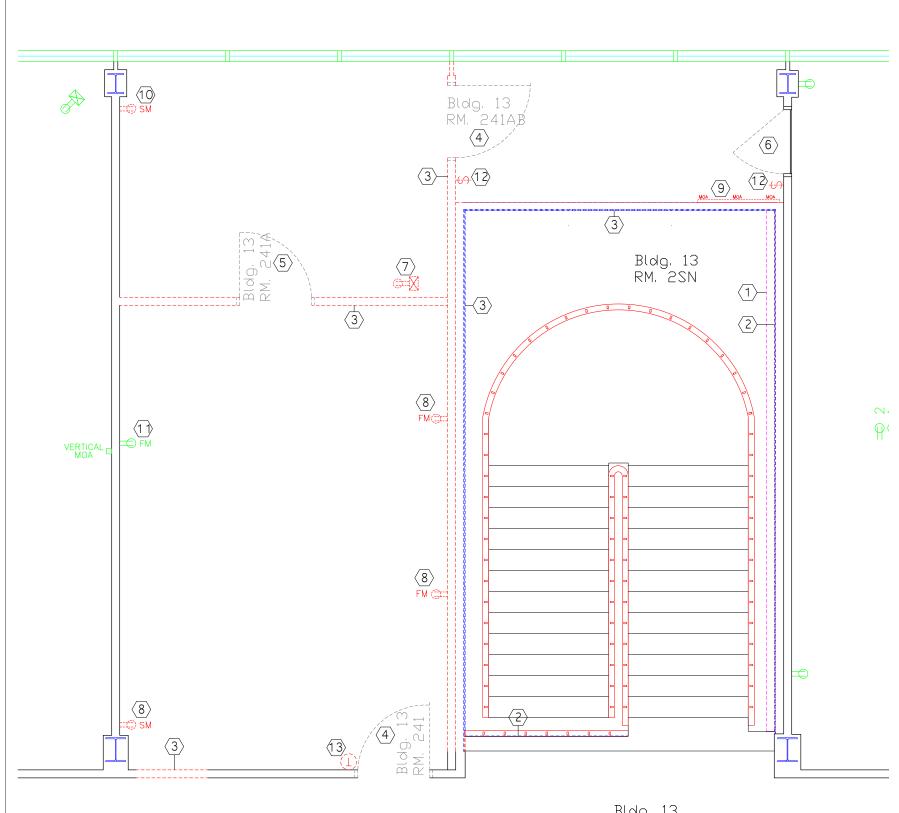
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- DASHED LINES INDICATE EXISTING GRAPHICS WALL TO BE REMOVED AND RETURN TO CUSTOMER.
- DASHED LINE INDICATES EXISTING VINYL FABRIC AND ONE LAYER OF GYPSUM BOARD TO BE REMOVED.
- (3) DASHED LINES INDICATE EXISTING WALLS TO BE DEMOLISHED.
- DASHED LINES INDICATE EXISTING DOOR, DOOR FRAME AND DOOR STOP TO BE REMOVED AND DISPOSED OF (2).
- DASHED LINES INDICATE EXISTING DOOR, DOOR FRAME AND DOOR STOP TO BE REMOVED AND RELOCATED PER ARCHITECTURAL FLOOR PLAN (1).
- 6 DASHED LINES INDICATE EXISTING DOOR TO BE REMOVED AND SHEETROCKED OVER.
- $\langle 7 \rangle$  REMOVE EXISTING TOMBSTONES AND CAP HOLES (1).
- $\langle 8 \rangle$  REMOVE EXISTING POWER (4).
- 9 REMOVE EXISTING MOA.
- 10 FLUSH MOUNT EXISTING SURFACE MOUNTED OUTLET.
- (1) EXISTING POWER TO REMAIN.
- $\ket{1}$  REMOVE EXISTING LIGHT SWITCH AND TIE LIGHTS TO EXISTING BUILDING SYSTEM.
- (13) REMOVE AND RELOCATE THERMOSTAT.



# EAWR FY26 IST FL. LOBBY & ROOM 241 REMODEL BUILDING 13 LEVEL 1 & 2

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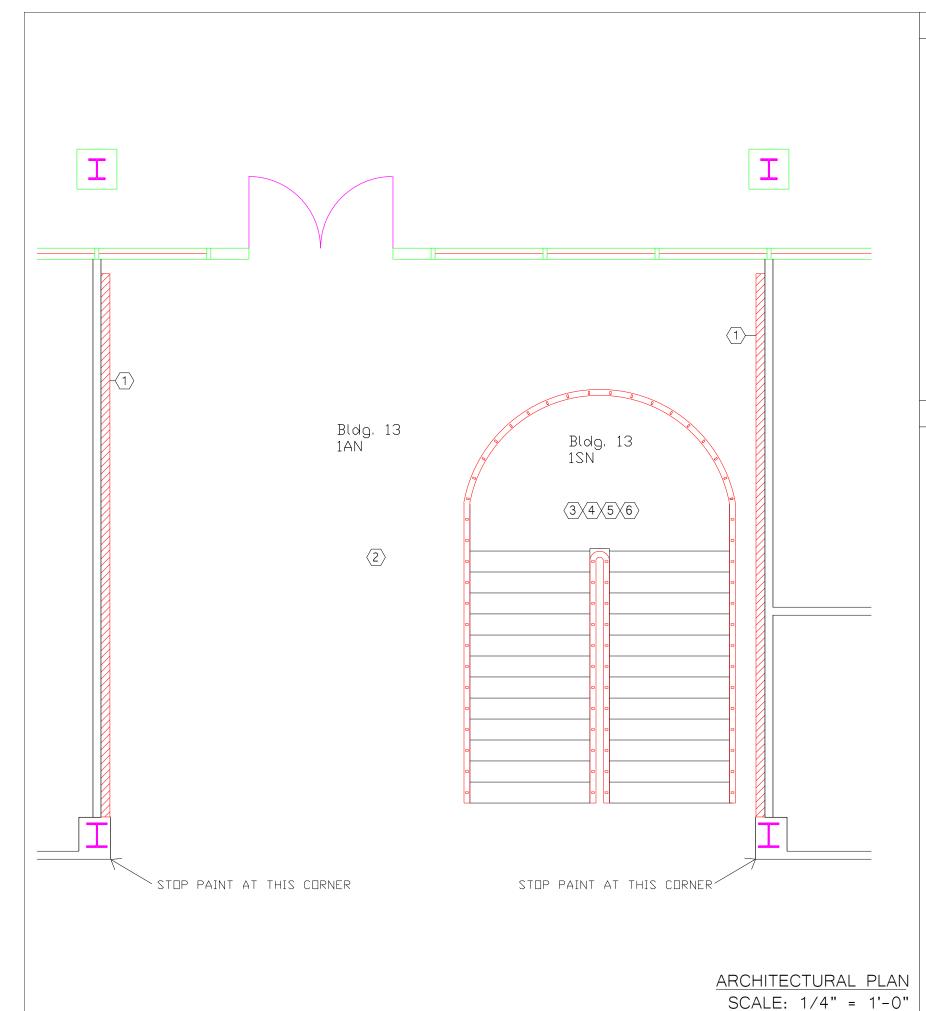
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#### KEYNOTES - ARCHITECTURAL FLOOR PLAN

- HATCH INDICATES ONE NEW LAYER OF GYPSUM BOARD WHERE EXISTING VINYL FABRIC WAS REMOVED. PAINT TO BE 101 GRAY. PROVIDE STANDARD COVE BASE WHERE NECESSARY.
- PATCH AND PAINT WALLS AND UNDER WINDOWS TO MAKE LIKE NEW IN ENTIRE AREA, PAINT TO BE 101 GRAY, PROVIDE STANDARD COVE BASE WHERE NECESSARY,
- CLEAN ALL STAIR RISERS. RUNS AND LANDINGS TO MAKE LIKE NEW.
- SAND AND REFINISH ALL STAIR HANDRAILS. STAIN TO MATCH EXISTING.
- STRIP EXISTING PAINT OFF ALL METAL BALUSTERS AND RAILINGS. PAINT ALL METAL BALUSTERS AND RAILINGS 101 GRAY AFTER STRIPPING EXISTING PAINT.
- PROVIDE NEW HORIZONTAL PANELS IN SAME LOCATION AS THE ONES REMOVED. PANELS SHOULD BE A CLEAR PLEXIGLASS MATERIAL ETCHED WITH CONTENT PROVIDED BY CUSTOMER. PRODUCT MUST BE APPROVE BY CUSTOMER BEFORE PURCHASE AND INSTALLATION.



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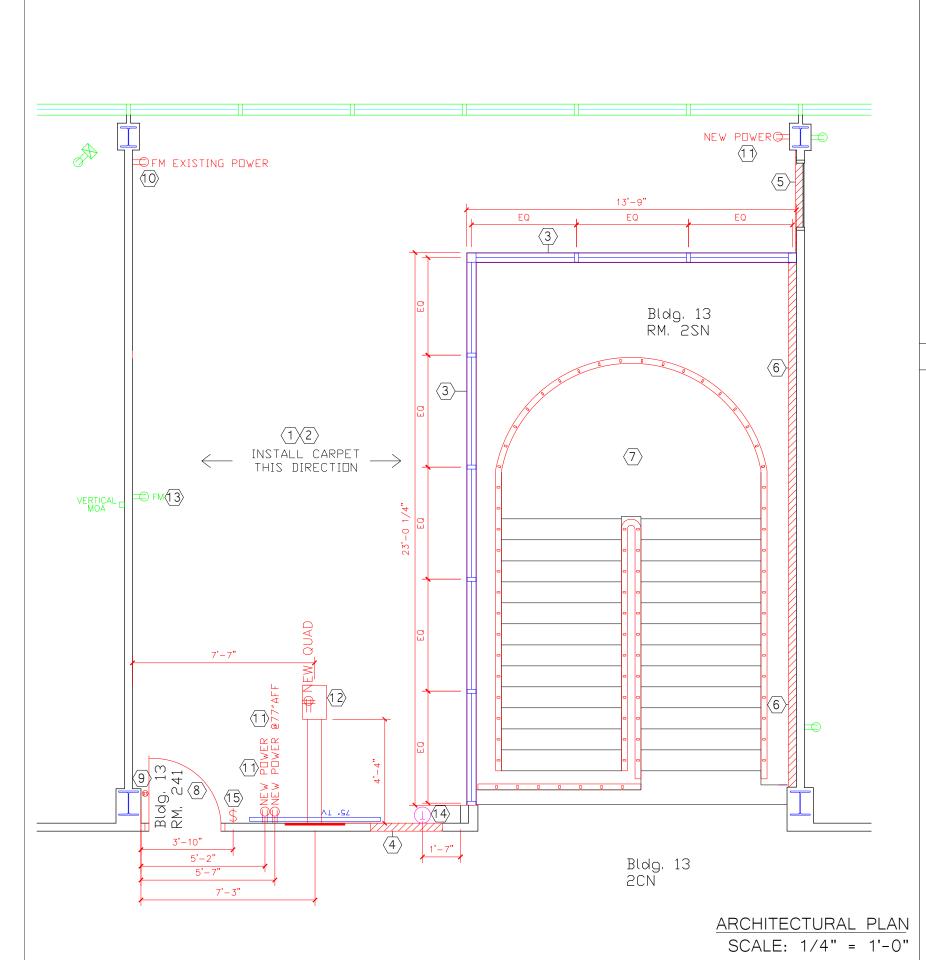
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- 8. REPLACE DAMAGED CEILING TILES AS NEEDED.

#### KEYNOTES - ARCHITECTURAL FLOOR PLAN

- PURCHASE AND INSTALL NEW MILLIKAN SCATTERGRAPH METRICS CARPET THROUGHOUT ENTIRE AREA. REFERENCE FLOOR PLAN AND COORDINATE WITH HEATH FORD FOR DIRECTION BEFORE INSTALL
- PATCH AND PAINT WALLS AND UNDER WINDOWS TO MAKE LIKE NEW IN ENTIRE AREA. PAINT TO BE 101 GRAY. PROVIDE STANDARD COVE BASE WHERE NECESSARY
- NEW SHEETROCK WALL WITH BLACK ALUMINUM FRAME FROSTED GLASS WINDOW AT 30 A.F.F. WALL PAINT TO BE 101 GRAY. PROVIDE STANDARD COVE BASE. REF. WINDOW ELEVATION AND FROSTED GLASS DESIGN EXAMPLE ON SHEET F201. CONTRACTOR TO GET APPROVAL FROM CUSTOMER BEFORE PURCHASING AND INSTALLING.
- HATCH INDICATES NEW SHEETROCK WALL. PAINT INTERIOR SIDE 101 GRAY. MATCH EXISTING PAINT ON CORRIDOR SIDE.
- HATCH INDICATES NEW SHEETROCK WHERE DOOR WAS REMOVED. PAINT 101 GRAY. PROVIDE STANDARD COVE BASE.
- HATCH INDICATES ONE NEW LAYER OF GYPSUM BOARD WHERE EXISTING VINYL FABRIC WAS REMOVED. PAINT TO BE 101 GRAY. PROVIDE STANDARD COVE BASE WHERE NECESSARY.
- PATCH AND PAINT LOBBY STAIRWELL WALLS 101 GRAY.
- RELOCATED DOOR. PAINT INTERIOR FACE OF DOOR AND FRAME 101 GRAY. MATCH EXISTING PAINT ON CORRIDOR SIDE.
- REINSTALL EXISTING DOOR STOP AFTER CARPET IS INSTALLED (1).
- $\langle 10 \rangle$ FLUSH MOUNT EXISTING SURFACE MOUNTED DUPLEX OUTLET (1).
- NEW FLUSH MOUNTED DUPLEX OUTLETS AT DIMENSIONS SHOWN (3).
- PROVIDE NEW LOW PROFILE OVERFLOOR RACEWAY TO NEW CONF. ROOM TABLE. BASIS OF DESIGN LEGRAND OFR SERIES OVERFLOOR RACEWAY. PROVIDE QUAD OUTLET UNDER TABLE.
- EXISTING FLUSH MOUNTED DUPLEX OUTLETS TO REMAIN (1).
- $\langle 14 \rangle$ RELOCATED THERMOSTAT.
  - NEW LIGHT SWITCH TO CONTROL FIRST TWO ROWS OF LIGHTS.



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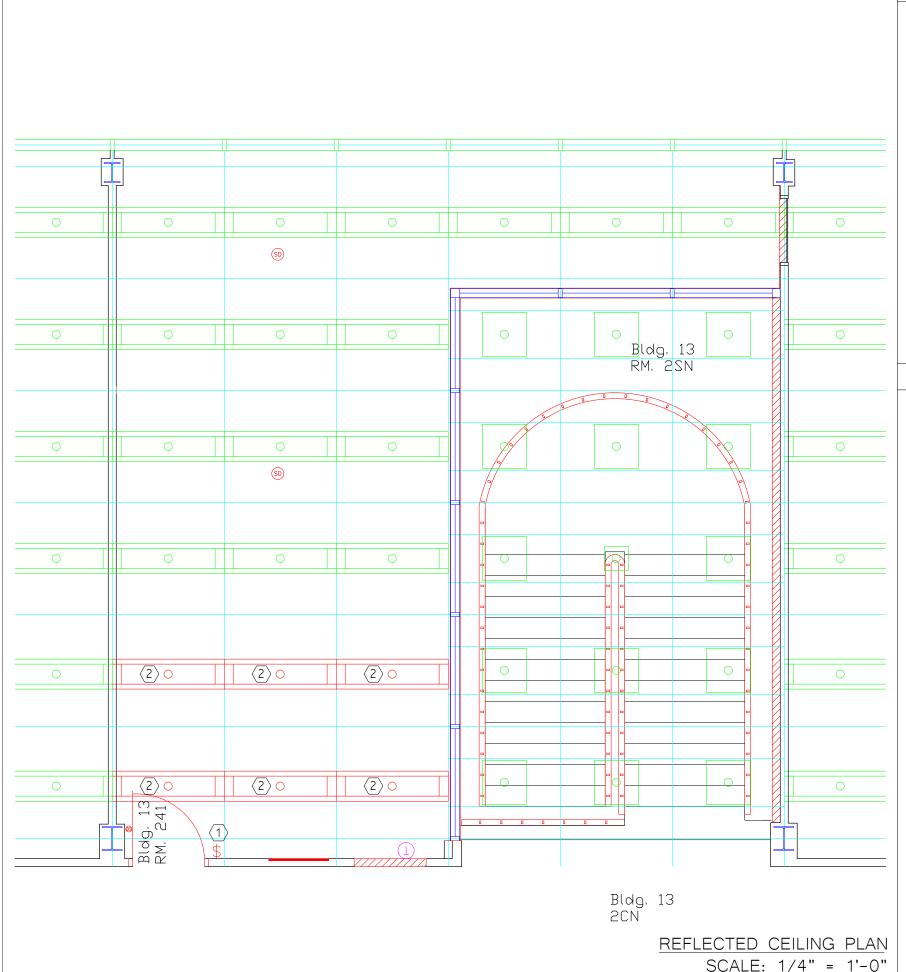
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- 8. REPLACE DAMAGED CEILING TILES AS NEEDED.

#### KEYNOTES - REFLECTED CEILING PLAN

- $\left\langle 1 \right\rangle$  NEW LIGHT SWITCH TO CONTROL FIRST TWO ROWS OF LIGHTS.
- $\langle 2 \rangle$  EXISTING LIGHTS TO BE CONTROLLED BY NEW LIGHT SWITCH (6).



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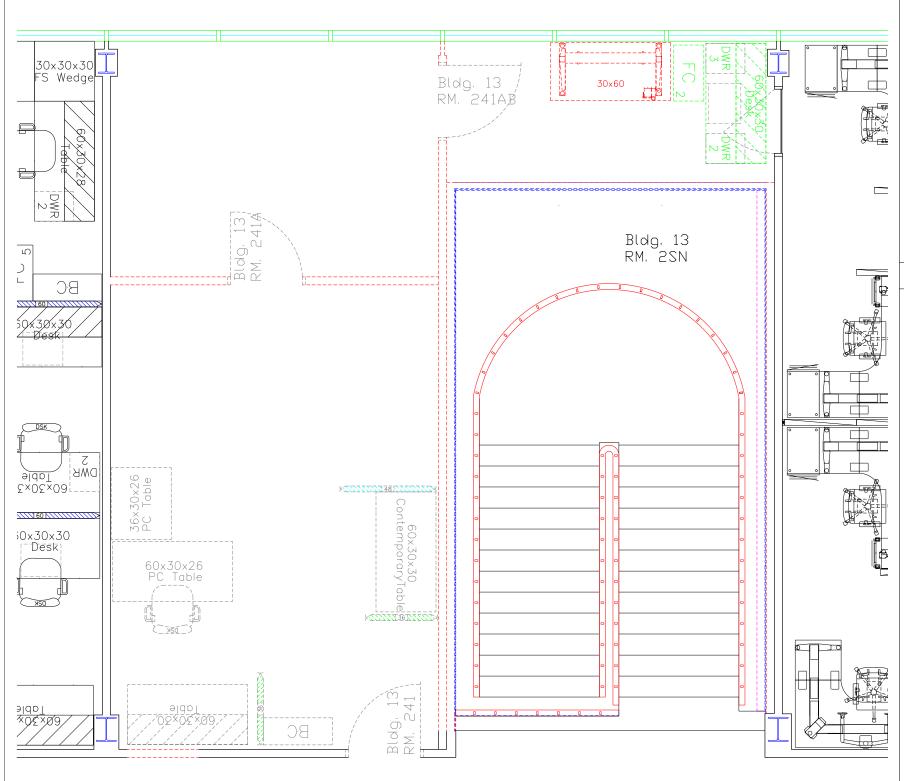
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#### KEYNOTES - FURNITURE DEMO PLAN



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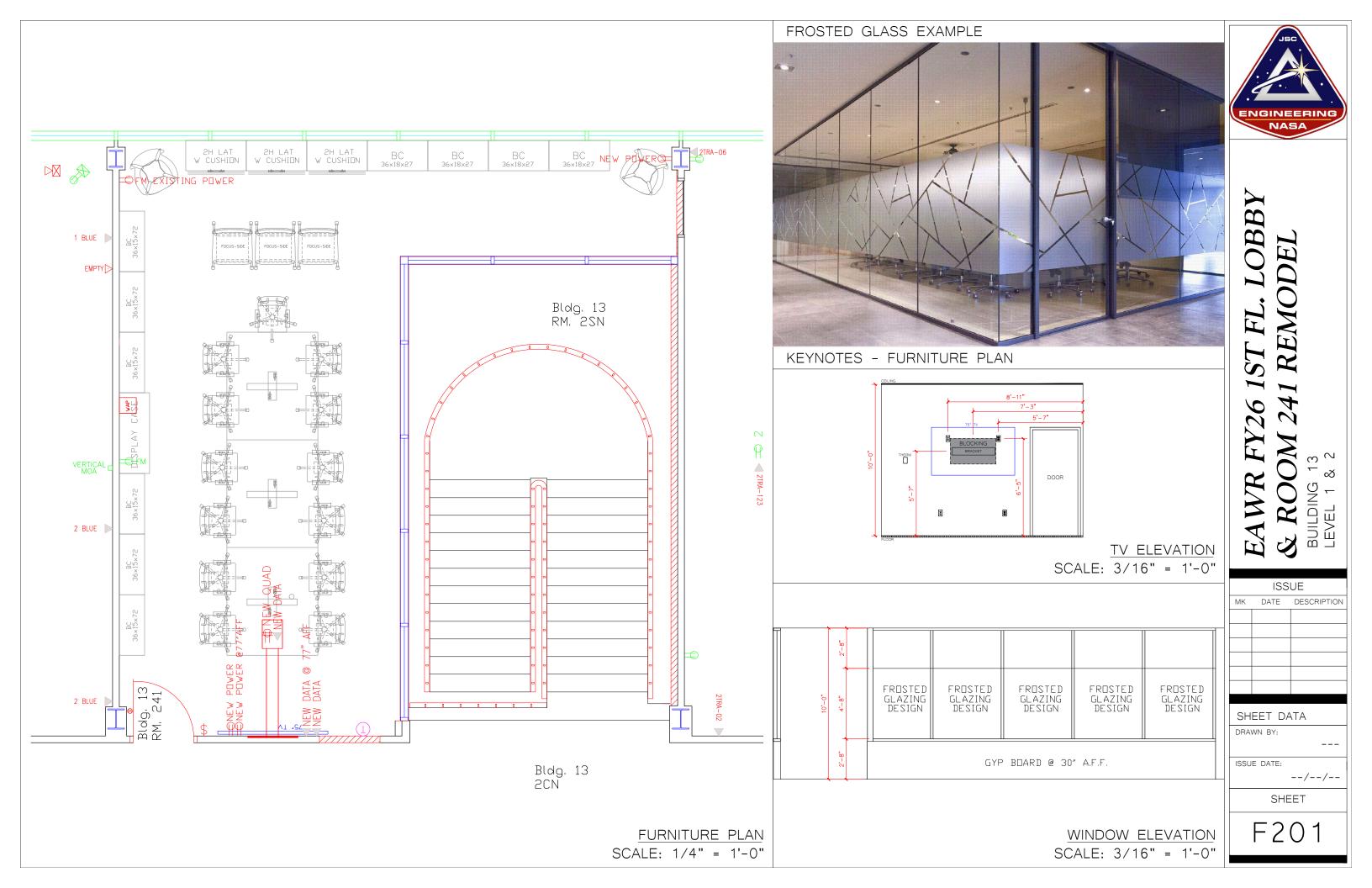
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- 8. REPLACE DAMAGED CEILING TILES AS NEEDED.
- 9. REPLACE DAMAGED FLOOR TILES AS NEEDED.

#### KEYNOTES - IT DEMO PLAN

- EXISTING DATA, ABANDON CABLES AND OLD PHONE CABLES TO BE REMOVED. CAP HOLES WHERE NEEDED.
- EXISTING WAP TO REMAIN.



## LOBB REMODE 26 ROOM BUILDING LEVEL 1

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- 9. REPLACE DAMAGED FLOOR TILES AS NEEDED.

#### KEYNOTES - IT PLAN

- PROVIDE NEW DATA UNDER TABLE IN LOW PROFILE OVERFLOOR RACEWAY.
- PROVIDE NEW FLUSH MOUNTED DATA (9). REFERENCE FURNITURE PLAN FOR ADDITIONAL INFORMATION.
- EXISTING WAP TO REMAIN.



## LOBB REMODE ROOM BUILDING LEVEL 1

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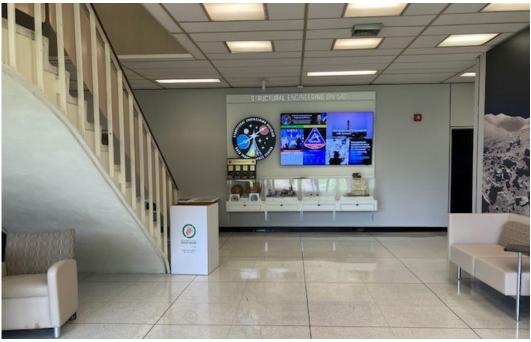
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### **ENCLOSURE 4** APE Analysis Photos

#### **APE Analysis Photos**



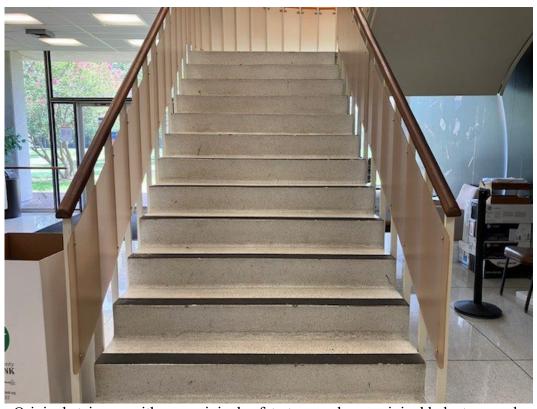
Looking south from doorway of B13 into interior lobby, showing original staircase and nonoriginal display and graphic wall coverings



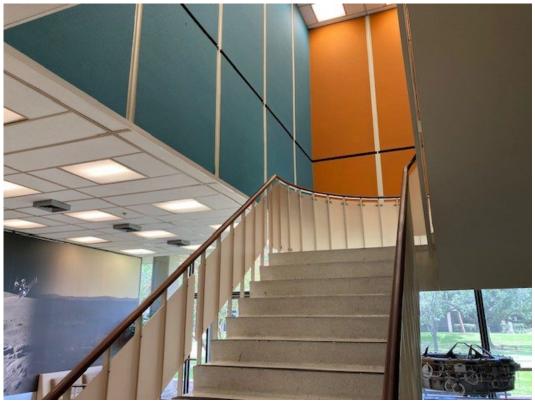
Looking west from doorway of B13 into interior lobby, showing original staircase, non-original graphic wall covering, and original orange vinyl wall covering (left)



Looking east from doorway of B13 into interior lobby, showing non-original graphic wall covering and original blue vinyl wall covering (far right)



Original staircase with non-original safety tape and non-original baluster panels



Original staircase and original second floor blue and orange vinyl wall coverings



Original staircase; original second floor blue, orange, and gray vinyl wall coverings; and nonoriginal graphic wall covering



Top view of original staircase from second floor, including non-original safety tape